

Job No: IAC-456

19 May 2016

**CORE PROJECT GROUP PTY LTD
122A HANNELL ST,
WICKHAM, NSW, 2293****Reference: ACCESS REPORT
RSL LIFESTYLE
BIRDWOOD PARK DEVELOPMENT
500 KING ST
NEWCASTLE WEST, NSW 2302****Attention: MR T ELLIOT**

Dear Tom,

In accordance with your instructions we have prepared this access report to accompany the Development Application for the development located at 500 King St, Newcastle West for RSL Lifestyle.

This access report has been structured in accordance with the provisions of the Disability (Access to Premises) Standard 2010, State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 and the accessibility Standards identified in the AS1428 suite of Standards.

Please feel free to contact us should you wish to discuss any aspect of this Access Report.

Yours sincerely,

**RICHARD SEIDMAN**

M.PropDev, BArch (Hons) , ARB Reg No 4700, ACAA (Associate No 330) , Livable Housing Registered Assessor 10041



iAccess Consultants is a division of Seidman & Associates Pty Ltd ABN 37 002 648 615

ACCESS REPORT

BIRDWOOD PARK DEVELOPMENT

500 KING ST

NEWCASTLE WEST 2302



Prepared by

iAccess Consultants

A division of Seidman & Associates Pty Ltd

ABN 37 002 648 615

19 May 2016

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29 May 2016

Document control

Project: RSL Lifestyle
500 King St
Newcastle West, NSW 2302.

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Revision History:

Our Reference	Rev	Remarks	Issue Date
IAC-456	-	Access report prepared and issued to client	19 May 2016
IAC-456	A	Editorial changes and access report prepared and issued to client	29 May 2016



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EXECUTIVE SUMMARY

This access report has been prepared to accompany the Development Application for the proposed development of Block B of the Birdwood Park development for RSL Lifestyles.

It is assumed that this project is being developed under the provisions of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

For the purposes of this report commentary as to the parking provisions provided within this development is assessed within the Traffic Engineers report.

The site is located on the northern side of King Street between Stewart Avenue to the west, National Park Street to the east and Hunter Street to the North. Birdwood Park is located directly opposite the site and Marketown Shopping Centre is located to the south east of the site. The Honeysuckle foreshore precinct is located approx 400m to the north of the site.



Figure 1 Location plan (source Google maps)

The proposed development satisfies the requirements of SEPP Seniors Clause 38 in that the development has:

- (a) obvious and safe pedestrian links from the site that provide access to public transport services or local facilities, and
- (b) provided attractive, yet safe, environments for pedestrians and motorists with convenient access and parking for residents and visitors

This access report assesses how the proposal satisfies the requirements of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004, the provisions of the Disability (Access to Premises – Buildings) Standard and the various AS1428 suite of Standards.

The report identifies a number of access issues to be addressed as part of the detailed Construction Certificate documentation.

DEVELOPMENT PROPOSAL

The plan proposes to construct a new 13 storey building on this site. The facilities to be provided within this building include residential aged care facilities as well as independent living units.

The schematic following provides a pictorial summary of the development as proposed.

Level 13	Independent living units	Plant	Community Centre Facilities	Lift and stair connection between levels
Level 12	Independent living units			
Level 11	Independent living units			
Level 10	Independent living units			
Level 09	Independent living units			
Level 08	Independent living units			
Level 07	Independent living units			
Level 06	Independent living units			
Level 05	Independent living units			
Level 04	Independent living units			
Level 03	Residential Aged Care Facility			
Level 02	Residential Aged Care Facility			
Level 01	Carparking			
Ground	Carparking / Lobby	Plant	Café / kitchen	

Figure 2 Schematic of the proposed development

Plans and elevations/sections of this proposed development are appended to this access report.

The National Construction Code (NCC) building classification of the development on this site is:

- Independent Living Units NCC Class 2
- Retirement Aged Care Facility NCC Class 9c
- Carparking NCC Class 7
- Café (Ancillary use to facility) NCC Class 6
- Community Rooms (Ancillary use to facility) NCC Class 2

COUNCIL REQUIREMENTS

The site is located within the Newcastle City Council Local Government area.

LEGISLATIVE FRAMEWORK

The legislation addressing accessibility is documented in the following Act, Code and Standards:

- Disability Discrimination Act 1992

- Disability (Access to Premises - Buildings) Standards 2010 (DDA 1992)
- National Construction Code (BCA 2014)
- AS1428.1:2009 Design for access and mobility - General requirements for access - New building work
- AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- AS1428.4.1:2009 Design for access and mobility - Means to assist the orientation of people with vision impairment - Tactile ground surface indicators
- AS2890.6:2009 Parking facilities - Off-street parking for people with disabilities
- AS1735.12:1999 Lifts, escalators and moving walks - Facilities for persons with disabilities
- Newcastle City Council DCP
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 – (SEPP SENIORS)

A. SEPP SENIORS - CONCEPTS

The proposed development on this site satisfies the following key concepts noted Clause 11 & 13(1) of Chapter 2 of SEPP Seniors:

11 Residential care facilities

In this Policy, a residential care facility is residential accommodation for seniors or people with a disability that includes:

- a) meals and cleaning services, and*
- b) personal care or nursing care, or both, and*
- c) appropriate staffing, furniture, furnishings and equipment for the provision of that accommodation and care,*

not being a dwelling, hostel, hospital or psychiatric facility.

13 Self-contained dwellings

(1) General term: “self-contained dwelling”

In this Policy, a self-contained dwelling is a dwelling or part of a building (other than a hostel), whether attached to another dwelling or not, housing seniors or people with a disability, where private facilities for significant cooking, sleeping and washing are included in the dwelling or part of the building, but where clothes washing facilities or other facilities for use in connection with the dwelling or part of the building may be provided on a shared basis.

B. SEPP SENIORS – SITE RELATED REQUIREMENTS ACCESS TO FACILITIES

SEPP Seniors Clause 26 (1) nominates that the residents of the development are to have access to the facilities identified in the following table.

The facilities noted in the following table are located within 400m of the site and are accessed by means of a suitable pathway where the average gradient of the pathways is no more than 1:14. The pathways may have sections where the gradients of the pathway have:

- (i) a gradient of no more than 1:12 for slopes for a maximum of 15 metres at a time,
- (ii) a gradient of no more than 1:10 for a maximum length of 5 metres at a time,
- (iii) a gradient of no more than 1:8 for distances of no more than 1.5 metres at a time

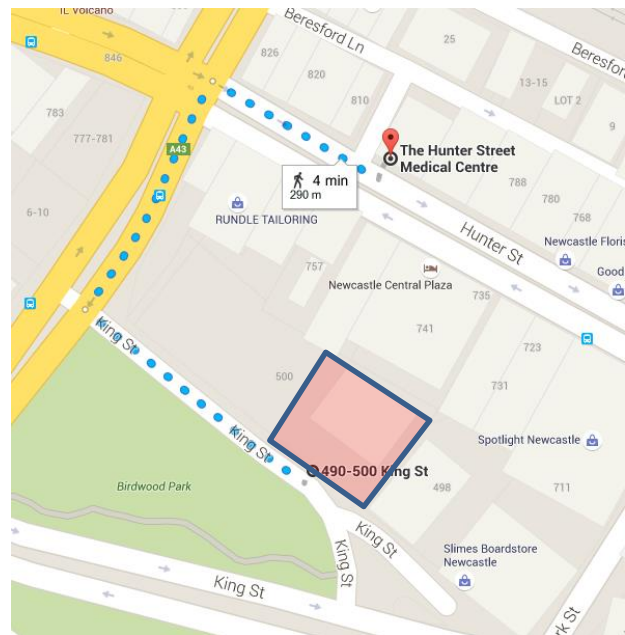
The previously noted gradients are acceptable to the provisions of SEPP Seniors Clause 26(2)(a).

Criteria to be satisfied	Criteria satisfied / not satisfied
(a) shops, bank service providers and other retail and commercial services that residents may reasonably require, and	<p>Satisfied</p> <p>An entrance to the Markettown Shopping Centre is located within 190m of the site.</p>
(b) community services and recreation facilities, and	<p>Satisfied</p> <p>The site is centrally located to a number of community services and recreation facilities.</p> <ol style="list-style-type: none"> 1) Birdwood Park is located directly opposite the site 2) The Newcastle leagues club is located on the corner of National Park Street and King Street (170m from the site) 3) Hunter Radiology is located in Hunter Street (350m from the site) 4) Hillsong Church Newcastle is located in Hunter Street (400m from the site) 5) Access to the Honeysuckle foreshore recreational precinct (400m from the site)
(c) the practice of a general medical practitioner.	<p>Satisfied</p> <p>The Hunter Street Medical Centre is located within 290m by foot of the site.</p>



Criteria to be satisfied

Criteria satisfied / not satisfied



C. SEPP SENIORS – SITE RELATED REQUIREMENTS ACCESS TO TRANSPORT

SEPP Seniors Clause 26(2)(c) nominates the requirements for access to public Transport. The site is well serviced by public bus services. The requirements of SEPP Seniors Clause 26(2)(c) and SEPP Seniors Clause 26(3) are satisfied by the public transport services within the vicinity of the site. The plan following indicates the location of bus stops located within 400m of the site and accessed by accessible pathways in accordance with the gradients nominated at SEPP Seniors Clause 26(2)(a).



Figure 3 - Bus Stop Location plan

- (a) *the consent authority is to be satisfied, on written evidence, that:*
- (i) *the proposed development will deliver on-site support services for its residents, and*
 - (ii) *at least 10% of the dwellings for the accommodation of residents in the proposed development will be affordable places, and*
- (b) *the applicant identifies, to the satisfaction of the consent authority, which of the dwellings for the accommodation of residents in the proposed development will be set aside as affordable places.*

RSL Lifecare proposes to make the Independent Living Units available on a rental basis. The detail of the allocation of units to satisfy this requirement of SEPP Seniors will need to be provided by RSL Lifecare.

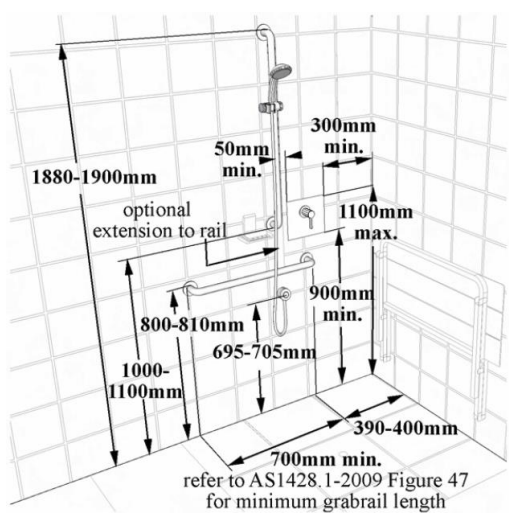
E. SEPP SENIORS – SCHEDULE 3 ASSESSMENT PARTS 1 & 2

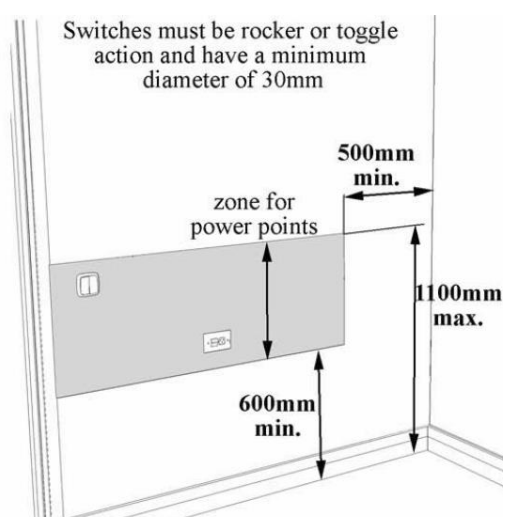
CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
1.	Application of standards in this Part The standards set out in this Part apply to any seniors housing that consists of hostels or self-contained dwellings.	Note	
2.	(1) Wheelchair access If the whole of the site has a gradient of less than 1:10, 100% of the dwellings must have wheelchair access by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road.	N/A	The proposed new building occupies the entire site.
	(2) If the whole of the site does not have a gradient of less than 1:10: (a) the percentage of dwellings that must have wheelchair access must equal the proportion of the site that has a gradient of less than 1:10, or 50%, whichever is the greater, and	N/A	The proposed new building occupies the entire site.
	(b) the wheelchair access provided must be by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road or an internal road or a driveway that is accessible to all residents.	Satisfied	Pedestrian access to the site is via the 1:20 walkway located on the southeast corner of the site
	(3) Common areas Access must be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the development.	Satisfied	Accessible access is provided to the coffee shop located at ground level of the proposed development and to the community rooms located on Level 13 of the development. A lift service connects the ground level to the community rooms located on level 13. A lift service also connects the carpark levels to all levels in this development.

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
3.	<p>Security</p> <p>Pathway lighting:</p> <p>(a) must be designed and located so as to avoid glare for pedestrians and adjacent dwellings, and</p>	Information to be provided	Details of the lighting to be installed are to be provided as part of the construction documentation package for Construction Certificate approval.
	<p>(b) must provide at least 20 lux at ground level.</p>	Information to be provided	Details of the lighting levels to be installed are to be provided as part of the construction documentation package for Construction Certificate approval.
4.	<p>Letterboxes</p> <p>(a) must be situated on a hard standing area and have wheelchair access and circulation by a continuous accessible path of travel (within the meaning of AS 1428.1), and</p> <p>(b) must be lockable, and</p> <p>(c) must be located together in a central location adjacent to the street entry or, in the case of self-contained dwellings, must be located together in one or more central locations adjacent to the street entry.</p>	Information to be provided	<p>The position of the letterboxes locations has yet to be nominated on the plans. The position of the letterboxes should be clearly in view and positioned on the boundary of the property or adjacent to the driveway or in a similar position with the number of the property clearly visible.</p> <p>The letterboxes will need to be located in a position that is clear of obstacles such as shrubs and rocks.</p> <p>The detailing of the letterboxes will need to comply with the rules of Australia Post and AS4293:1994 – Mailboxes.</p> <p>Details of the mailboxes will need to be provided. Specific reference is directed to mounting position of mailboxes above the floor.</p>
5.	<p>Private car accommodation</p> <p>If car parking (not being car parking for employees) is provided:</p> <p>(a) car parking spaces must comply with the requirements for parking for persons with a disability set out in AS 2890, and</p> <p>(b) 5% of the total number of car parking spaces (or at least one space if there are fewer than 20 spaces) must be designed to enable the width of the spaces to be increased to 3.8 metres, and</p> <p>(c) any garage must have a power-operated door, or there must be a power point and an area for motor or</p>	Note	The analysis of the parking within this development is addressed within the Traffic Engineers Report and is excluded from our access assessment of the development.

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
6.	<p>Accessible entry</p> <p>Every entry (whether a front entry or not) to a dwelling, not being an entry for employees, must comply with clauses 4.3.1 and 4.3.2 of AS 4299.</p>	Satisfied	<p>Entry to the development at ground floor level is via the automatic sliding doors. The detailing glazing of the entry will need to incorporate visual indicators on glazing in accordance with the requirements of Clause 6.6 of AS1428.1:2009.</p> <p><i>Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.</i></p> <p><i>Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.</i></p>
			<p>The gradient of the landings adjacent to the entry doors at ground level will need to be shallower than 1:40.</p>
			<p>Any recessed mat wells will need to satisfy the requirements of Clause 7.4.2 of AS1428.1:2009</p> <p><i>Matting recessed within a continuous accessible path of travel—</i></p> <p><i>(a) where of metal and bristle type construction or similar, its surface shall be no more 3 mm if vertical or 5 mm if rounded or bevelled, above or below the surrounding surface; and</i></p> <p><i>(b) where of a mat or carpet type material, shall have the fully compressed surface level with or above the surrounding surface with a level difference no greater than 3 mm if vertical or 5 mm if rounded or bevelled.</i></p>
			<p>Any external grates in the path of travel leading to the entry will need to satisfy the requirements of Clause 7.5 of AS1428.1:2009.</p> <p><i>Grates shall comply with the following:</i></p> <p><i>(a) Circular openings shall be not greater than 13 mm in diameter.</i></p> <p><i>(b) Slotted openings shall be not greater than 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel.</i></p>

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
7.	<p>Interior: general</p> <p>(1) Internal doorways must have a minimum clear opening that complies with AS1428.1.</p>	Information to be provided	<p>The minimum clear opening of a door or the active leaf of a double door installation will need to be not less than 850mm.</p> <p>The luminance contrast provisions at doorways noted at Clause 13.1 of AS1428.1:2009 will need to be addressed as part of the construction Certificate Documentation.</p> <p>The circulation at doorways requirements identified at Clause 13.3 of AS1428.1:2009 will need to be satisfied as part of the Construction Certificate Documentation.</p> <p>The door hardware selection identified at Clause 13.5 of AS1428.1:2009 will need to be satisfied as part of the Construction Certificate documentation.</p>
	<p>(2) Internal corridors must have a minimum unobstructed width of 1,000 millimetres.</p>	Information to be provided	<p>The detailed dimensioned plans have yet to be completed.</p> <p>The minimum clear width of corridors will need to be taken between any skirtings and not just the finished face of wall of the ILUs</p>
	<p>(3) Circulation space at approaches to internal doorways must comply with AS 1428.1.</p>	Information to be provided	<p>The circulation at doorways requirements identified at Clause 13.3 of AS1428.1:2009 will need to be satisfied as part of the Construction Certificate Documentation.</p>
8.	<p>Bedroom</p> <p>At least one bedroom within each dwelling must have:</p> <p>(a) an area sufficient to accommodate a wardrobe and a bed sized as follows:</p> <p>(i) in the case of a dwelling in a hostel—a single-size bed,</p> <p>(ii) in the case of a self-contained dwelling—a queen-size bed, and</p>	Satisfied	
	<p>(b) a clear area for the bed of at least:</p> <p>(i) 1,200 millimetres wide at the foot of the bed, and</p> <p>(ii) 1,000 millimetres wide beside the bed between it and the wall, wardrobe or any other obstruction, and</p>	Information to be provided	<p>The plans provided indicate that this requirement is able to be satisfied.</p> <p>This criterion to be satisfied will need to be confirmed as part of the Construction certificate documentation.</p>

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
	<ul style="list-style-type: none"> (c) 2 double general power outlets on the wall where the head of the bed is likely to be, and (d) at least one general power outlet on the wall opposite the wall where the head of the bed is likely to be, and (e) a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet, and (f) wiring to allow a potential illumination level of at least 300 lux. 	Information to be provided	The specific detail of this criterion will need to be captured in the Construction Certificate documentation.
9.	<p>Bathroom</p> <ul style="list-style-type: none"> (1) At least one bathroom within a dwelling must be on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS 1428.1: 	Satisfied	
	<ul style="list-style-type: none"> (a) a slip-resistant floor surface, 	Information to be provided	<p>The specific detail of this criterion will need to be captured in the Construction Certificate documentation.</p> <p>HB198 nominates the slip resistance for floor finishes in bathrooms to aged care facilities as being P3 (Wet pendulum test) and B (Oil-wet inclining platform test)</p>
	<ul style="list-style-type: none"> (b) a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1, 	Information to be provided	
	<ul style="list-style-type: none"> (c) a shower that complies with AS 1428.1, except that the following must be accommodated either immediately or in the future: <ul style="list-style-type: none"> (i) a grab rail, (ii) portable shower head, (iii) folding seat, 	Information to be provided	 <p>refer to AS1428.1-2009 Figure 47 for minimum grabrail length</p>
	<ul style="list-style-type: none"> (d) a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it, 	Information to be provided	

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
	(e) a double general power outlet beside the mirror.	Information to be provided	
	(2) Subclause (1) (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility.	Note	
10.	Toilet A dwelling must have at least one toilet on the ground (or main) floor and be a visitable toilet that complies with the requirements for sanitary facilities of AS 4299.	Information to be provided	<p>The dwellings in this development are all single level units.</p> <p>The detailing of the ILU bathrooms will need to ensure that a 900 x 1250mm zone clear of any doors wings is provided in front of the WCs</p>
11.	Surface finishes Balconies and external paved areas must have slip-resistant surfaces.	Information to be provided	<p>The slip resistance of the floor finishes to any unit balconies is not specifically noted in the Standards or Codes. It can be assumed that the slip resistance of floor finishes in balcony locations will be R10 at a minimum.</p> <p>The slip resistance of external walkways and colonnades will need to satisfy the requirements of NCC Table D2.14 and HB198 depending on the location of the floor finish.</p>
12.	Door hardware Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.	Information to be provided	Compliance with requirement will need to be demonstrated as part of the Construction Certificate documentation.
13.	Ancillary items Switches and power points must be provided in accordance with AS 4299.	Information to be provided	<p>Compliance with requirement will need to be demonstrated as part of the Construction Certificate documentation.</p> <p>Light switches will need to be located between 900-1100mm AFFL and no closer than 500mm to an internal corner.</p> <p>GPOs to be located at a height >600mm AFFL.</p> 

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
14.	Application of standards in this Part The standards set out in this Part apply in addition to the standards set out in Part 1 to any seniors housing consisting of self-contained dwellings.	Note	
15.	Living room and dining room (1) A living room in a self-contained dwelling must have: (a) a circulation space in accordance with clause 4.7.1 of AS 4299, and	Information to be provided	An area of 2250mm dia will need to be nominated once the suggested furniture lay out has been nominated. This spatial allowance will allow a wheelchair user to make a 360deg turn.
	(b) a telephone adjacent to a general power outlet.	Information to be provided	Details to be provided as part of the Construction Certificate documentation
	(2) A living room and dining room must have wiring to allow a potential illumination level of at least 300 lux.	Information to be provided	Details to be provided as part of the Construction Certificate documentation
16.	A kitchen in a self-contained dwelling must have: (a) a circulation space in accordance with clause 4.5.2 of AS 4299, and	Satisfied	
	(b) a circulation space at door approaches that complies with AS 1428.1, and	N/A	The kitchens form part of the open plan kitchen, lounge and dining area
	(c) the following fittings in accordance with the relevant subclauses of clause 4.5 of AS 4299: (i) benches that include at least one work surface at least 800 millimetres in length that comply with clause 4.5.5 (a),	Information to be provided	Details to be provided as part of the Construction Certificate documentation
	(ii) a tap set (see clause 4.5.6),	Information to be provided	Details to be provided as part of the Construction Certificate documentation
	(iii) cooktops (see clause 4.5.7), except that an isolating switch must be included,	Information to be provided	Details to be provided as part of the Construction Certificate documentation
	(iv) an oven (see clause 4.5.8), and	Information to be provided	Details to be provided as part of the Construction Certificate documentation
	(e) general power outlets: (i) at least one of which is a double general power outlet within 300 millimetres of the front of a work surface, and	Information to be provided	Details to be provided as part of the Construction Certificate documentation

CL	REQUIREMENT TO BE SATISFIED	STATUS	COMMENT
	(ii) one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed.	Information to be provided	Details to be provided as part of the Construction Certificate documentation
17.	Access to kitchen, main bedroom, bathroom and toilet In a multi-storey self-contained dwelling, the kitchen, main bedroom, bathroom and toilet must be located on the entry level.	N/A	
18.	Lifts in multi-storey buildings In a multi-storey building containing separate self-contained dwellings on different storeys, lift access must be provided to dwellings above the ground level of the building by way of a lift complying with clause E3.6 of the Building Code of Australia.	Satisfied	Lifts have been provided to the development to provide accessible access to all levels of the development. The detailed specification of the lifts will need to be finalised as part of the Construction certificate documentation. A checklist is provided as part of this report.
19.	Laundry A self-contained dwelling must have a laundry that has:	Satisfied	
	(a) a circulation space at door approaches that complies with AS 1428.1, and		
	(b) provision for the installation of an automatic washing machine and a clothes dryer, and	Satisfied	
	(c) a clear space in front of appliances of at least 1,300 millimetres, and	Satisfied	
	(d) a slip-resistant floor surface, and	Information to be provided	The details of the slip resistance of the floor finishes is to be provided as part of the construction certificate documentation.
	(e) an accessible path of travel to any clothes line provided in relation to the dwelling.	N/A	No external clothes drying lines are provided.
20.	Storage for linen A self-contained dwelling must be provided with a linen storage in accordance with clause 4.11.5 of AS 4299.	Satisfied	
21.	Garbage A garbage storage area must be provided in an accessible location.	Satisfied	A garbage chute is provided at each level. The plan will need to be revised to provide accessible access to the garbage chute.

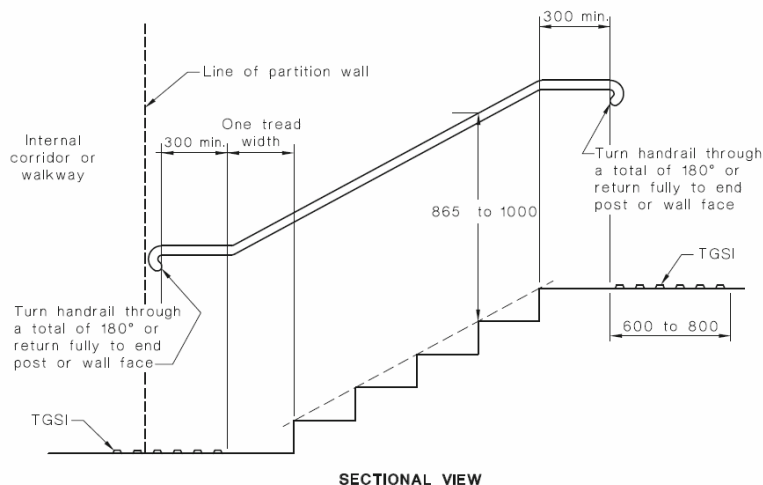
1. PEDESTRIAN ACCESS TO THE SITE

A common entry to the property is provided along the King Street Frontage. The access to the residential component of this development is via a 1:20 walkway

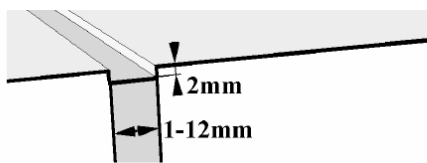
The pavement floor finishes to the entry and the stairs will need to satisfy the provisions of NCC Clause D2.14 and the provisions of HB198 (P4/R11).

The detailing of the stairs accessing the coffee shop will need to include:

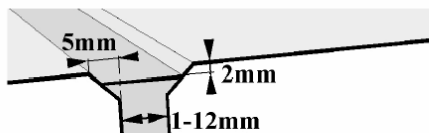
- Compliant handrail design to AS1428.1:2009
- Compliant handrail extensions to AS1428.1:2009
- Non-slip goings
- Non-slip nosing treatments
- Compliant placement of TGSIs to the requirements of AS1428.4.1:2009
- Min of 150lx lighting level



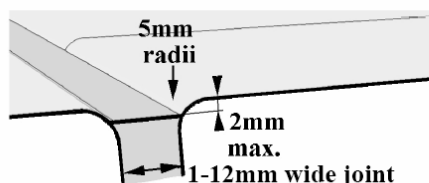
The junctions of floor finishes will need to satisfy the requirements of Clause 7 of AS1428.1:2009.



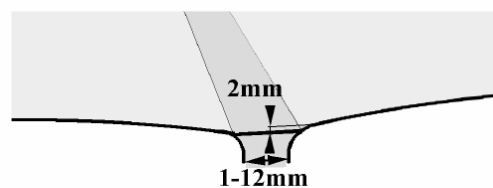
(i) Level Surface - Square Edge



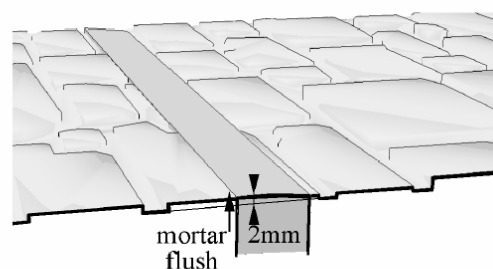
(ii) Level Surface - Bevelled Edge



(iii) Level Surface - Rounded Edges



(iv) Uneven Surface - Domed



(v) Uneven Surface - Irregular

2. VEHICLE ACCESS WITHIN THE SITE

The detailed analysis of carparking in this development is addressed as part of the Traffic Engineers report and is specifically excluded from this access report.

It is recommended that the placement of building services within the basement level enable a clear height of 2200mm along the vehicle aisle ways and 2500mm above parking spaces.

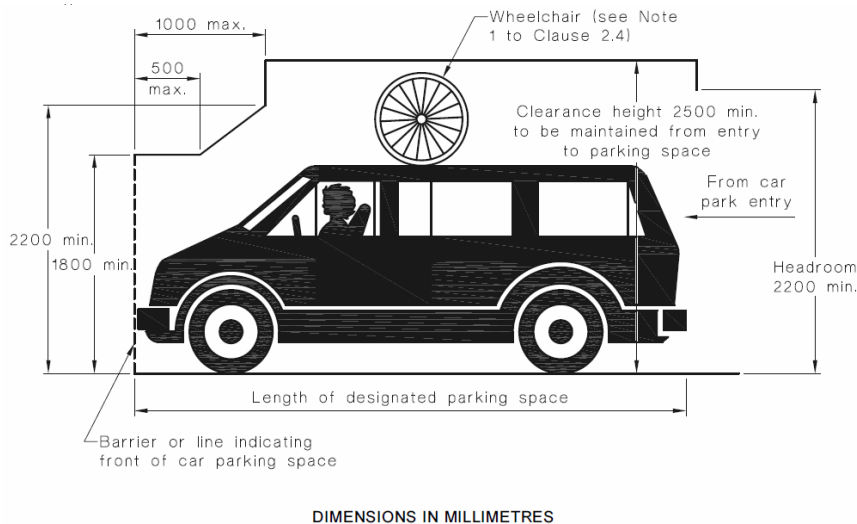


FIGURE 2.7 HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES

3. CIRCULATION STAIRS

The detailing of stairs connecting the lobby with the carpark lobby will need to satisfy the requirements of Clauses 11 & 12 of AS1428.1:2009.

4. FIRE STAIRS

The detailing of the fire stairs will need to satisfy the requirements of NCC Clause D3.3(a)(iii).

The goings will need to be non-slip to the provisions of NCC Table D2.14.

The detailing of the stair nosing will need to satisfy the requirements of Clauses 11.1(f) & (g) of AS1428.1:2009.

- (f) *At the nosing, each tread shall have a strip not less than 50 mm and not more than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3.*
- (g) *Where the luminance contrasting strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10 mm.*

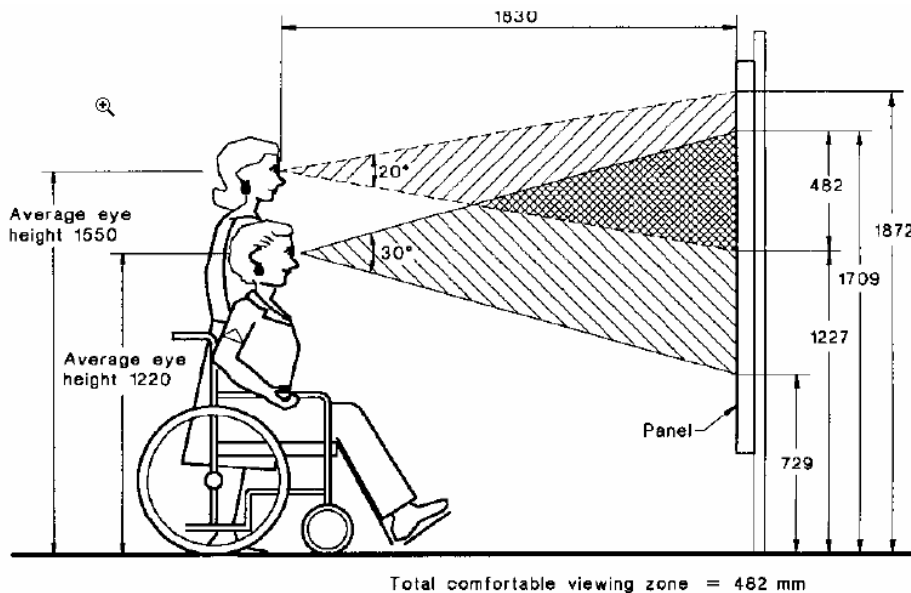
5. SIGNAGE

Directional and wayfinding signage will need to comply with the signage provisions of AS4299.

- (a) Be presented in large print (70–80 mm height) letters and raised 6–8 mm from background.
- (b) Be of sanserif type—upper face case preferred—light colour (e.g. white/yellow) against a dark background.
- (c) Be positioned 1500–1650 mm from ground height.

- (d) Be placed centrally on the door or letterbox.
- (e) Be well lit with matt or non-reflecting finish.

The mounting heights of signage will need to incorporate the viewing zones as identified in AS1428.2:1992. The zoned for signage is identified as being between 729 – 1709 mm AFFL.



Source: National Endowment for the Arts, Needs Assessment Survey Instrument, produced by National Access Centre, USA

DIMENSIONS IN MILLIMETRES

FIGURE 30 ZONES FOR VIEWING AND FOR COMMON VIEWING

6. FLOOR LEVEL

Floors are level throughout all residential levels of this development.

The slip resistance of the ground floor finishes will need to satisfy the requirements of NCC Table D2.14 and Table 3A of the HB198:2014. The extract from HB198 indicates the slip resistance levels to be satisfied.

TABLE 3A
MINIMUM WET PENDULUM TEST OR OIL-WET INCLINING PLATFORM
CLASSIFICATIONS THAT ARE DEEMED TO SATISFY THE BUILDING
APPLICATIONS IN THE NATIONAL CONSTRUCTION CODE

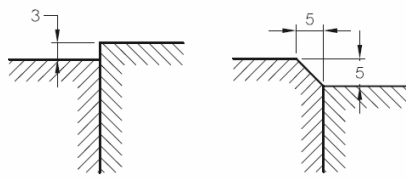
Location	Wet pendulum test	Oil-wet inclining platform test
Stair Treads and Stairway Landings in Buildings Covered by NCC Volumes One and Two		
Stair treads and a stairway landing (when dry)	P3	R10
Stair treads and a stairway landing (when wet)	P4	R11
Nosings for Stair Treads and Stairway Landings in Buildings Covered by NCC Volumes One and Two		
Dry stair tread, a stair non-skid nosing strip and a stairway landing	P3	
Wet stair tread, a stair non-skid nosing strip and a stairway landing	P4	
Ramps in Buildings Covered by NCC Volumes One and Two		
Ramps not steeper than 1:14 gradient (when dry)	P3	R10
Ramps not steeper than 1:14 gradient (when wet)	P4	R11
Ramps steeper than 1:14 up but not steeper than 1:8 (when dry)	P4	R11
Ramps steeper than 1:14 up but not steeper than 1:8 (when wet)	P5	R12

In addition, the slip resistance of external pavement will need to satisfy the slip resistance requirements of Table 3B of HB198:2014. Specific attention is directed to the slip resistance requirements to be satisfied of undercover car parks.

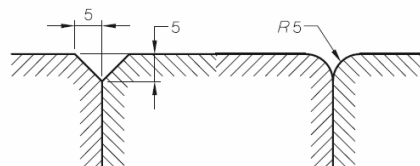
TABLE 3B
WET PENDULUM TEST OR OIL-WET INCLINING PLATFORM
CLASSIFICATIONS FOR APPLICATIONS WHERE THE NCC DOES NOT
REQUIRE SLIP RESISTANCE

Location	Wet pendulum test	Oil-wet inclining platform test
External Pavements and Ramps		
External ramps including sloping driveways, footpaths etc. steeper than 1 in 14	P5	R12
External ramps including sloping driveways, footpaths, etc., under 1:14, external sales areas (e.g. markets), external carpark areas, external colonnades, walkways, pedestrian crossings, balconies, verandas, carports, driveways, courtyards and roof decks	P4	R11
Undercover car parks	P3	R10

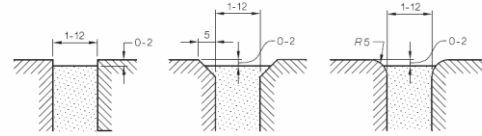
Changes in floor finishes will need to satisfy the following maximum tolerances:



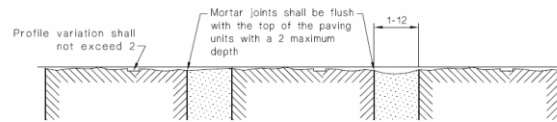
(a) Change in level



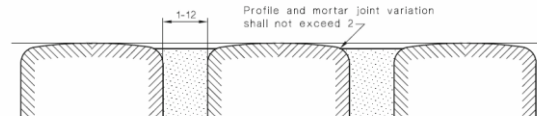
(b) Continuous paving units—flush-jointed with level surfaces



(a) Continuous paving units—Level surface



(b) Continuous paving units—Irregular surfaces

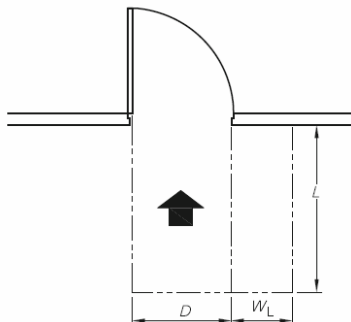


(c) Continuous paving units—Domed surfaces

7. ENTRANCES, DOORWAYS AND CIRCULATION AREAS

The lobby entry doors are nominated as double leaf assembly. The primary leaf of the doorway will need to have a minimum clear width of 850mm. Latchside clearances will need to comply with Clause 13 of AS1428.1:2009.

The position of the entry doors to individual units will need to be repositioned to provide the required latchside clearances required of Clause 13.3 of AS1428.1:2009.



Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1450	0	510
900	1450	0	510
950	1450	0	510
1000	1450	0	510

(d) Front approach,
door opens away from user

Specific attention is also directed to the issue of luminance contrast at doorways nominated at Clause 13.1 of AS1428.1:2009.

All doorways shall have a minimum luminance contrast of 30% provided between—

- (a) door leaf and door jamb;
- (b) door leaf and adjacent wall;
- (c) architrave and wall;
- (d) door leaf and architrave; or
- (e) door jamb and adjacent wall.

The minimum width of the area of luminance contrast shall be 50 mm.

8. VERTICAL TRANSPORT

The development is serviced by a single lift core comprising 3 lifts servicing each level of this development.

As the lift travel is greater than 12m the minimum floor size of the lift car will need to be 1400 x 1600mm. The detailing of the lift car will need to be compliant to the provisions of AS1735.12. The stretcher provisions of the NCC will need to be incorporated into the detail of the lift car.

Attention is directed to the placement of the lift call button at each level. Many lift suppliers are locating the call button for single lift car installations in the jamb of the lift door assembly. If this surface is not flush with the adjoining wall the position of the button is not complainant with the provisions of Clause 13 of AS14281.



Figure 5 image of non-compliant lift call button installation

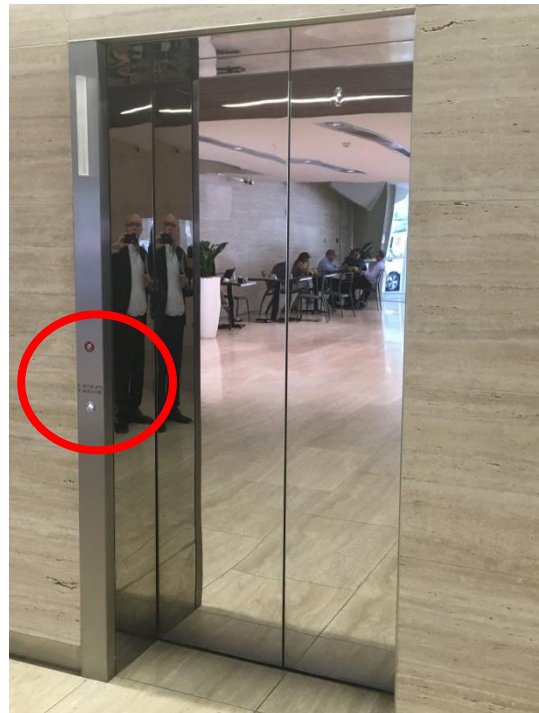


Figure 6 image of compliant lift call button installation

The following table provides a compliance schedule to be addressed by the lift manufacturer:

CLAUSE	LIFT SERVICE - REQUIREMENT TO BE SATISFIED	STATUS	COMMENT /ACTION
Section 2	The minimum lift car internal dimensions shall be 1400 mm wide by 1600 mm deep between the inside of the closed car doors to the inside back wall of the car.		
	The minimum clear width of car door openings shall be not less than 900 mm.		
3.1	Any carpet shall have a pile length above the carpet substrate of not more than 6 mm. NOTE: Car floor surfaces should be firm and slip resistant.		
3.2	Where Type C safety gear as classified by AS 1735.2 is used, it shall be possible for a lift mechanic to gain access to the release mechanism of the safety gear while the lift car is occupied by a person in a wheelchair.		

CLAUSE	LIFT SERVICE - REQUIREMENT TO BE SATISFIED	STATUS	COMMENT /ACTION
4.1	Lift car doors and landing doors shall be of the horizontally sliding type, power- operated, and automatically controlled.		
4.2	Lift car doors shall be fitted with a passenger-protection system which, while activated, will hold the doors in the open position. The system shall not be nullified by objects with a reflective surface		
4.3	When the doors are responding to a landing button, they shall remain fully open for a minimum of 6 s		
5.1	Surfaces (including button cover plates), within 300 mm of car control buttons, that are parallel to the face of the buttons and the button cover plate shall have a finish that reduces glare and reflection.		
5.2	<p>Protruding edges</p> <p>To prevent injury from accidental contact, edges protruding from the walls shall be rounded or protected, and the ends of handrails directly facing a doorway shall be returned to the wall.</p> <p>Handrails, car-operating panels, seats, and other fittings shall not obstruct or reduce the clear doorway opening to less than the width of the door.</p>		
5.3.1	Handrail length – 600mm and the handrail shall be not more than 500 mm from any button or operating device required to be used to operate the lift		
5.3.2	<ul style="list-style-type: none"> a) The cross-section of handrails shall be circular for not less than 270° around the uppermost surface, with a diameter of not less than 30 mm or more than 50 mm b) Obstructions shall be located not less than 15 mm below the cross-section. c) Exposed edges and corners of handrails shall have a radius of not less than 5 mm. d) The top of handrails shall be not less than 850 mm nor more than 950 mm above the level of the upper surface of the door sill of the lift car. e) Handrails shall be securely fixed so that there is no obstruction to the passage of a hand along the grip. f) Clearances above the handrail, including clearances to control panels, shall be either less than 5 mm or not less than 100 mm. g) Handrails shall be positioned with clearances to the wall of not less than 50 mm 		
5.4	Seat		Not Required
6	<p>Lift car levelling</p> <p>On the date of the acceptance test, the lift equipment shall be capable of stopping the lift car so that the door sill of the lift car is not more than 12 mm above nor more than 12 mm below the door sill of the landing sill.</p>		
7.1	<p>Each landing served shall be provided with one or more control buttons to call a lift.</p> <p>Where up and down buttons are provided on a landing, and are not located vertically within 200 mm of each other, a tactile symbol and Braille equivalent shall be provided and shall be located either above or to the left or on the face of the respective button.</p>		

CLAUSE	LIFT SERVICE - REQUIREMENT TO BE SATISFIED	STATUS	COMMENT /ACTION
7.2.1	<p>Number of control panels</p> <p>Where either the width or depth of the car, as defined in AS 1735.2, is less than 1400 mm, not less than two control panels shall be provided in positions that are accessible, one to the left and one to the right of a person entering the lift car. In other situations, not less than one control panel shall be provided in a position that is accessible, either to the left or to the right of a person entering the lift car.</p>		
7.2.2	<p>Control Buttons on Control Panels</p> <p>Each control panel required by Clause 7.2.1 shall contain all the buttons required by AS 1735.2.</p>		
7.2.3	<p>Key Pads</p> <p>Where key pads are provided, they shall be in a standard telephone key pad arrangement and shall be located at a height of 900 mm to 1100 mm from the floor. A tactile dot shall be provided in the centre of the number 5, unless the tactile symbol is on the face of the button. The buttons shall comply with Clause 7.4.</p>		
7.3.1	<p>Height above floor</p> <p>The centre of the buttons required by Clause 7.1 shall be not less than 900 mm nor more than 1200 mm above the landing floor.</p>		
7.3.2	<p>Distance from corners</p> <p>Each control button required by Clause 7.2 shall be located where it is able to be tangentially touched by a horizontal disc with a radius of 300 mm, where located adjacent to a door entrance, and 400 mm for all other locations. This disc shall not intersect any other object while the lift doors are closed</p>		
7.3.3	<p>At lift landings</p> <p>Control buttons shall be located adjacent to the lift entrances and shall not be closer than 500 mm from any internal corner or fixed obstruction.</p>		
7.3.4	<p>Security system operating devices</p> <p>Operating devices (i.e. key switches or card readers) for security systems shall be located in accordance with the requirements of Clauses 7.3.1, 7.3.2 and 7.3.3.</p>		
7.4.1.1	<p>Control button movement</p> <p>Control buttons shall require a movement of not less than 0.5 mm and not more than 3 mm, to cause operation of the contact.</p>		
7.4.1.2	<p>The force normal to the centre of the button required to operate each control button shall be not less than 2 N and not more than 5 N. Where tactile symbols are provided on the face of the button, the force required to operate the button shall be not less than 3.5N and not more than 5N</p>		
7.4.2	<p>Size of button (19mm)</p>		
7.4.3	<p>Separation</p> <p>The separation between the moving parts of adjacent control buttons shall be not less than 10 mm.</p>		
7.4.4	<p>Projection</p> <p>The moving part of a control button or its surround shall project not less than 1 mm beyond the face of the control panel excluding any tactile</p>		

CLAUSE	LIFT SERVICE - REQUIREMENT TO BE SATISFIED	STATUS	COMMENT /ACTION
7.4.5	<p>Surface</p> <p>The surface shall be capable of retaining the hemispherical end of a 10 mm diameter timber dowel while the dowel is aligned 20° from normal to the face of the button and axially loaded with a force of 6 N.</p>		
7.4.6	<p>Edges & Corners</p> <p>The edges and corners of control buttons shall be smooth and rounded.</p>		
7.4.7	<p>Inclination</p> <p>The front face of control buttons, which are required by Clause 7.2, which are centred not less than 900 mm above the car floor, shall be vertical or face upwards with an inclination to the vertical of not more than 15°.</p> <p>The front face of control buttons, which are required by Clause 7.2 and which are centred less than 900 mm above the car floor, shall face upwards with an inclination to the vertical of not less than 15° and not more than 30°.</p> <p>The front face of the control panel need not be inclined.</p>		
7.4.8	<p>Highlight</p> <p>Control buttons shall contrast with their surrounding surface</p>		
7.4.9	<p>Identification of control Buttons</p> <p>Control buttons required by Clause 7.2.2, except the stop button and the communication button, shall be identified by—</p> <ul style="list-style-type: none"> (a) contrasting characters not less than 10 mm high and Braille equivalent, adjacent to or on the button; and (b) tactile characters not less than 12 mm high adjacent to or on the button. 		
8.1	<p>Audible Information</p> <p>For lifts serving more than 3 floors, automatic audible information, adjustable between 35dB(A) and 55dB(A), shall be provided in the lift car. Each time the lift stops in response to a car call, the floor shall be orally identified in English.</p>		
8.2	<p>Visible Information</p> <p>Visible information shall be given by characters complying with Clause 8.4 and having a luminance factor not less than 0.3, in contrast to that of the background.</p>		
8.3	<p>Tactile information</p> <p>Tactile information shall comply with the following:</p> <ul style="list-style-type: none"> (a) The shape of the characters shall comply with Clause 8.4. (b) The nominal thickness of the character outlines or symbols shall be not less than 6 percent or more than 15 percent of the height of the character (see Table 8.3). (c) The spacing between characters shall be not less than twice the thickness of the character outlines. (d) The characters shall protrude not less than 0.8 mm from the background. (e) Any raised borders or protrusions, such as screw heads or other fixing means, shall not protrude more than necessary nor shall they be located within 5 mm of any tactile character or symbol. 		
8.4	Shape of Characters		

CLAUSE	LIFT SERVICE - REQUIREMENT TO BE SATISFIED	STATUS	COMMENT /ACTION
8.5	Indication of direction of travel		
8.6.1	Car position Indicator		
8.6.2	Acknowledgement of floor calls		
9	Communication system		
9.3	Lift identification system		
9.4	Permanently attended location		
9.5	Lift Car equipment		
10.1	Compliance with AS1680		
10.2	General Lighting The lighting system installed within lift cars shall provide a minimum illuminance of 100 lx on a horizontal plane at the level of the car floor		
10.3	Lighting of lift car controls The average illuminance on the surface containing the controls shall be not less than 50 lx and the variation in illuminance shall be not more than 3:		

9. ARCHITECTURAL DOCUMENTATION

The following documents prepared by EJE Architecture form the basis of this access report:

A02	GROUND LEVEL SITE PLAN	[8]
A05	GROUND LEVEL FLOOR PLAN	[01]
A06	LEVEL 1 FLOOR PLAN	[01]
A07	LEVEL 2 FLOOR PLAN	[01]
A08	LEVEL 3 FLOOR PLAN	[01]
A09	LEVEL 4 FLOOR PLAN	[01]
A10	LEVELS 5-12 FLOOR PLAN	[01]
A11	LEVEL 13 FLOOR PLAN	[01]

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
A4.1	Classifications Class 2 — a building containing 2 or more sole-occupancy units, each being a separate dwelling.	Note
	Class 7a — a carpark	Note
	Class 9c — An aged Care building	Note
DP1	Performance requirement Access must be provided, to the degree necessary, to enable: a) people to: <ul style="list-style-type: none"> i. approach the building from the road boundary and from any <i>accessible</i> carparking spaces associated with the building; and 	Accessible access has been provided across the boundary to the building lobby.
	<ul style="list-style-type: none"> ii. approach the building from any accessible associated building; and 	Not Applicable - There are no other buildings on the site.
	<ul style="list-style-type: none"> iii. access work and public spaces, accommodation and facilities for personal hygiene; and 	Accessible access has been provided to all levels and areas of this development
	b) Identification of accessways at appropriate locations which are easy to find.	Information yet to be supplied
DP4	Performance requirement <i>Exits</i> must be provided from a building to allow occupants to evacuate safely, with their number, location and dimensions being appropriate to: <ul style="list-style-type: none"> a) the travel distance; and b) the number, mobility and other characteristics of occupants; and c) the function or use of the building; and d) the height of the building; and e) Whether the <i>exit</i> is from above or below ground level. 	Satisfied


PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
DP6	<p>Performance requirement</p> <p>So that occupants can safely evacuate the building, <i>accessways</i> to <i>exits</i> must have dimensions appropriate to:</p> <ul style="list-style-type: none"> a) the number, mobility and other characteristics of occupants; and b) the function or use of the building. 	<p>Certifiers are adopting the approach that Dts assessment of the provision of fire stairs satisfies this requirement.</p> <p>Refuge areas have not been nominated as part of the fire stair system.</p> <p>Details addressing how people with disability are to be evacuated in the event of an emergency will need to be provided with the Construction Certificate documentation.</p> <p>It has been assumed that the lift service could be made available to satisfy this requirement in accordance with NCC objective EO1:</p> <p><i>The Objective of this Part is to—</i></p> <ul style="list-style-type: none"> (a) <i>facilitate the safe movement of occupants; and</i> (b) <i>facilitate access for emergency services personnel to carry out emergency procedures and assist in the evacuation of occupants</i>
DP8	<p>Performance requirement</p> <p>Carparking spaces for use by people with a disability must be:</p> <ul style="list-style-type: none"> a) provided, to the degree necessary, to give equitable access for carparking; and b) designated and easy to find. 	Not Applicable
DP9	<p>Performance requirement</p> <p>An inbuilt communication system for entry, information, entertainment, or for the provision of a service, must be suitable for occupants who are deaf or hearing impaired.</p>	Not Applicable
D3.1	General Building Access Requirements Class 2	
Table D3.1	Common areas in buildings where one or more sole- occupancy units are made available for short-term rent	Satisfied

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
	From a pedestrian entrance required to be accessible to at least one floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.	Satisfied
	To and within not less than one of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like.	Satisfied
	Where a ramp complying with AS 1428.1 or a passenger lift is installed- (a) to the entrance doorway of each sole-occupancy unit; and (b) to and within rooms or spaces for use in common by the residents, Located on the levels served by the lift or ramp.	Satisfied It will be necessary to confirm that the latchside clearances (510/530mm) requirements of Clause 13 of AS1428.1:2009 have been satisfied. There are no common facilities proposed in this development.
D3.1	General Building Access Requirements Class 7a	
Table D3.1	To and within any level containing accessible carparking spaces	Satisfied
D3.1	General Building Access Requirements Class 9c	
Table D3.1	From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.	Satisfied
	To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, TV room, individual shop, dining room, public viewing area, ticket purchasing service, lunch room, lounge room, or the like.	Satisfied

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
	Where a ramp complying with AS 1428.1 or a passenger lift is installed— (a) to the entrance doorway of each sole-occupancy unit; and (b) to and within rooms or spaces for use in common by the residents, located	Satisfied
	Where more than 2 accessible sole-occupancy units are required, they must be representative of the range of rooms available.	Satisfied All ILU units are accessible as the development is being developed under the provisions of the Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004
D3.2	Access to Buildings	
	(1) An <i>accessway</i> must be provided: (a) to a building <i>required</i> to be <i>accessible</i> ;	Satisfied
	(b) from the main points of a pedestrian entry at the allotment boundary; and I. from another <i>accessible</i> building connected by a pedestrian link; and II. from any <i>required accessible</i> carparking space on the allotment.	Satisfied
	(2) In a building <i>required</i> to be <i>accessible</i> , an <i>accessway</i> must be provided through the principal pedestrian entrance, and: a. through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and b. in a building with a total <i>floor area</i> more than 500sqm, a pedestrian entrance which is not <i>accessible</i> must not be located more than 50 m from an <i>accessible</i> pedestrian entrance; except for pedestrian entrances serving only areas exempted by clause D3.4.	Satisfied

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
D3.3	Parts of buildings to be accessible	
	In a building <i>required</i> to be <i>accessible</i> : a) every ramp and stairway, except for ramps and stairways in areas exempted by clause D3.4, must comply with:	Satisfied
	Walkways (gradients <1:20) will need to satisfy the provisions of Clauses 10.1 and 10.2 of AS1428.1:2009.	Information to be provided.
	i. for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and	Satisfied
	ii. for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1;	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation. Specific attention is directed to Clause 11.2(c) of the Standard which addresses the topic of vertical sections of handrails. The design of the stairs in this project as proposed will result in vertical sections of handrails.
	iii. for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1; The following is an extract from AS1428.1 addressing this item: (f) At the nosing, each tread shall have a strip not less than 50 mm and not more than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3. (g) Where the luminance contrasting strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10 mm.	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation. Specific attention is directed to Clause 11.2(c) of the Standard which addresses the topic of vertical sections of handrails. The design of the stairs in this project as proposed will result in vertical sections of handrails.
	b) every passenger lift must comply with clause E3.6;	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
	<p>c) <i>accessways</i> must have:</p> <ul style="list-style-type: none"> i. passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an <i>accessway</i> where a direct line of sight is not available; and ii. turning spaces complying with AS 1428.1: <ul style="list-style-type: none"> A. within 2m of the end of <i>accessways</i> where it is not possible to continue travelling along the <i>accessway</i>; and B. at maximum 20 m intervals along the <i>accessway</i>; 	Satisfied
	d) an intersection of <i>accessways</i> satisfies the spatial requirements for a passing and turning space;	Satisfied
	e) a passing space may serve as a turning space;	Satisfied
	<p>f) a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a <i>storey</i> or level other than the entrance <i>storey</i> in a Class 5, 6, 7b or 8 building-</p> <ul style="list-style-type: none"> (i) containing not more than 3 <i>storeys</i>; and (ii) with a <i>floor area</i> for each <i>storey</i>, excluding the entrance <i>storey</i>, of not more than 200sqm. 	Not Applicable
D3.4	Concessions	
		Levels 2 and 3 of this development have been designed as aged care facilities. The service rooms noted on these levels by nature of the activities undertaken are not accessible.

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
D3.5	Carparking	
	Class 2 residential	Assessment of the carparking for this development is addressed within the Traffic Engineers Report
	Class 7 1 space for every 100 carparking spaces or part thereof.	Not Applicable
D3.6	Signage -WC signage	Braille Tactile signs to satisfy the WC sign requirements of NCC Clause D3.6 and Specification D3.6 will need to be provided. Refer to attached technical sheet for details.
D3.6	Signage -Exit Signage	Braille Tactile signs to satisfy the exit sign requirements of NCC Clause D3.6 and Specification D3.6 will need to be provided. <i>In a building required to be accessible—</i> <i>(a) braille and tactile signage complying with Specification D3.6 must</i> <i>(ii) identify each door required by E4.5 to be provided with an exit sign and state—</i> <i>(A) "Exit"; and</i> <i>(B) "Level" ; and either</i> <i>(aa) the floor level number; or</i> <i>(bb) a floor level descriptor; or</i> <i>(cc) a combination of (aa) and (bb);</i> 

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
D3.7	Hearing Augmentation	<p>If an inbuilt amplification system is provided to the Community Rooms located on Level 13 of the development, then a hearing augmentation system will need to be provided.</p> <p>Details are to be provided once the use and function of the facility has been finalised.</p>
D3.8	Tactile Indicators	TGSIs compliant to the provisions of AS1428.4.1:2009 will need to be provided to the stairs leading to the coffee shop, the stairs connecting the Residential Foyer with the carpark and to the service ramp in the carpark (1:14 gradient)
D3.10	Swimming pool	Not Applicable
D3.11	Ramps	Not Applicable
D3.12	Glazing on an accessway	
	<p>On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with Clause 6.6 of AS 1428.1.</p>	<p>Details of the shopfront design have yet to be provided.</p> <p>Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation. The provisions to be complied with are:</p> <p>6.6 Visual indicators on glazing</p> <p>Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.</p> <p>Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.</p>
Part D4	Braille & Tactile Signs	Refer to attached technical sheet for sign mounting installation.

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
Part E3	Lift Installation	
Table E3.6B	Handrail complying with the provisions for a mandatory handrail in AS 1735.12	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Lift floor dimension of not less than 1 400 mm x 1 600 mm	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Minimum clear door opening complying with AS 1735.12	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Passenger protection system complying with AS 1735.12	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Lift landing doors at the upper landing	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Lift car and landing control buttons complying with AS 1735.12	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Lighting in accordance with AS 1735.12	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	<ul style="list-style-type: none"> a) Automatic audible information within the lift car to identify the level each time the car stops; and b) audible and visual indication at each lift landing to indicate the arrival of the lift car; and c) audible information and audible indication <i>required</i> by (a) and (b) is to be provided in a range of between 20–80 dbA at a maximum frequency of 1 500 Hz 	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation
	Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received	Compliance with this requirement will need to be demonstrated as part of the construction certificate documentation

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE / ACTION / COMMENT
Part F2	Sanitary and other facilities	<p>Accessible sanitary facilities located within the public areas of this development will need to satisfy the detail requirements of NCC Clause F2.3 & F2.4 as well as the detailed arrangements of Clauses 15 & a6 of AS1428.1:2009.</p> <p>A detailed technical sheet is appended to this report identifying the spatial arrangements for the setout of accessible WC facilities.</p> <p>The ILU units within this facility all incorporate accessible WS / Shower Facilities. The detailed design will need to satisfy the requirements of Clause 15 of AS1428.1:2009.</p> <p>The size of the WC / Shower facilities of the aged care facilities have been sized in accordance with the requirements of NSW Health – Health facility guidelines.</p>

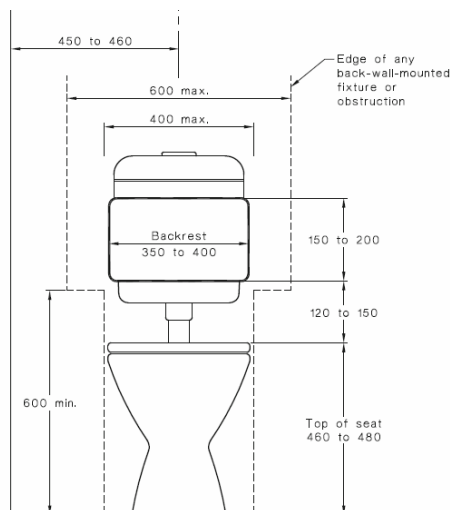
ACCESSIBLE WC REQUIREMENTS TO BE SATISFIED

AS 1428.1:2009 ACCESSIBLE WC CHECKLIST

REQUIREMENTS FOR ACCESSIBLE WC AND SHOWER FACILITIES

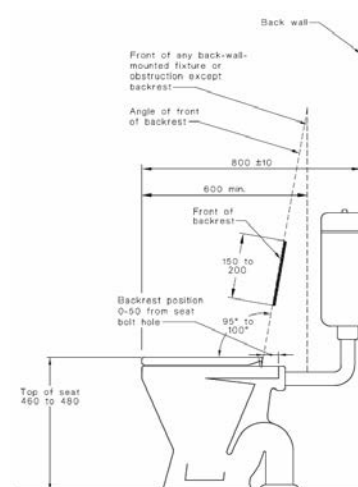
WATER TAPS	STATUS
Taps shall have lever handles, sensor plates, or other similar controls.	
Lever handles shall have not less than 50 mm clearance from an adjacent surface.	
Where separate taps are provided for hot and cold water, the hot water tap shall be placed to the left of the cold water tap for horizontal configurations, or above the cold water tap for vertical configurations.	
Where hot water is provided, the water shall be delivered through a mixing spout.	

WC PAN CLEARANCES	STATUS
Offset from side wall to CL of WC pan	450-460 mm
Distance from rear wall to front of WC Pan	800 ± 10 mm
Top of seat height	460-480 mm AFFL



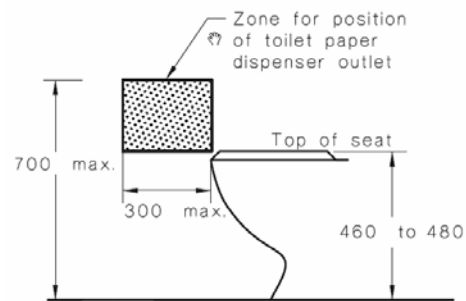
WC SEAT	STATUS
be of the full-round type	
be securely fixed in position when in use;	
have seat fixings that create lateral stability for the seat when in use;	
be load-rated to 150 kg;	
have a minimum luminance contrast of 30% with the background (e.g., pan, wall or floor against which it is viewed).	

BACKREST	STATUS
Shall be capable of withstanding a force in any direction of 1100 N;	
Width of backrest – 350-400 mm	
Height of backrest – 150-200 mm	
Bottom of back rest – 120-150 mm above top of seat	
Angle of incline 95-100 °	

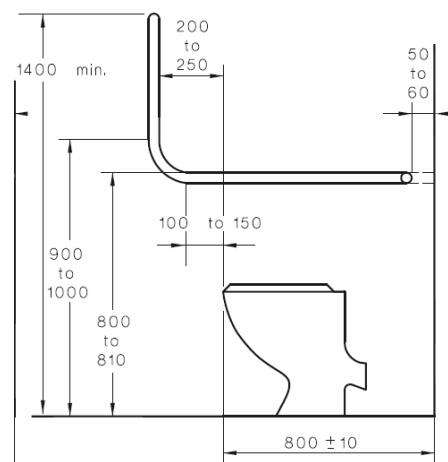


FLUSHING CONTROL	STATUS
Flushing controls shall be user activated, either hand operated or automatic..	
The flushing control shall be proud of the surface and shall activate the flush before the button becomes level with the surrounding surface.	

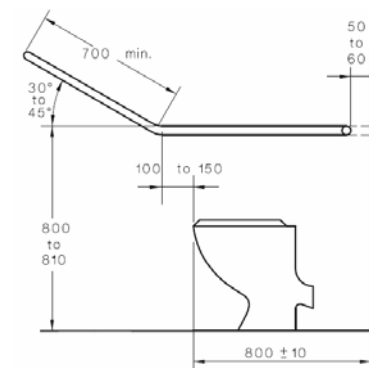
TOILET PAPER DISPENSER	STATUS
Distance in front of front of WC pan	300 mm max
Height above floor	700 mm max



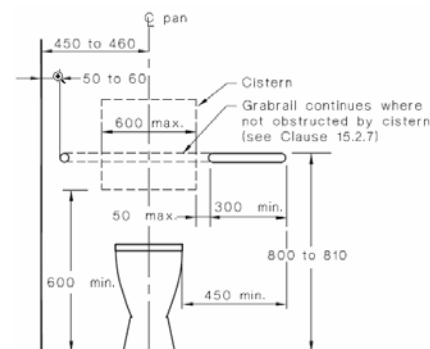
GRABRAILS 90 DEG	STATUS
Horizontal rail height	800 ± 10 mm
Distance from front of WC pan to vertical rail	200-250 mm
Top of vertical rail	1400 mm AFFL min



GRABRAILS 45 DEG	STATUS
Horizontal rail height	800 ± 10 mm
Distance from front of WC pan to inclined rail	100-150 mm
Length of inclined rail	700 mm min



GRABRAILS REAR RAIL	STATUS
Horizontal rail height	800 ± 10 mm
Distance from front of WC pan to vertical rail	200-250 mm
Top of vertical rail	1400 mm AFFL min



ACCESSIBLE WC REQUIREMENTS TO BE SATISFIED

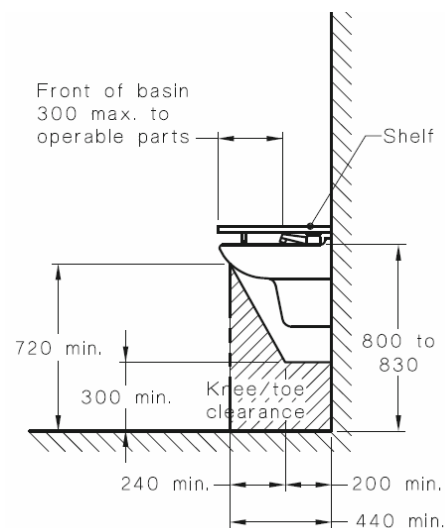
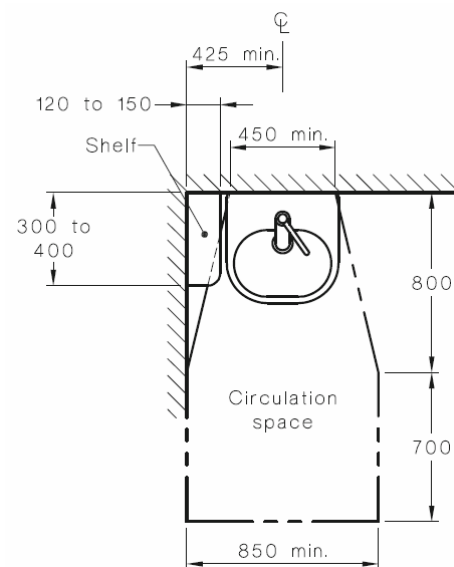
AS 1428.1:2009 ACCESSIBLE WC CHECKLIST

REQUIREMENTS FOR ACCESSIBLE WC AND SHOWER FACILITIES

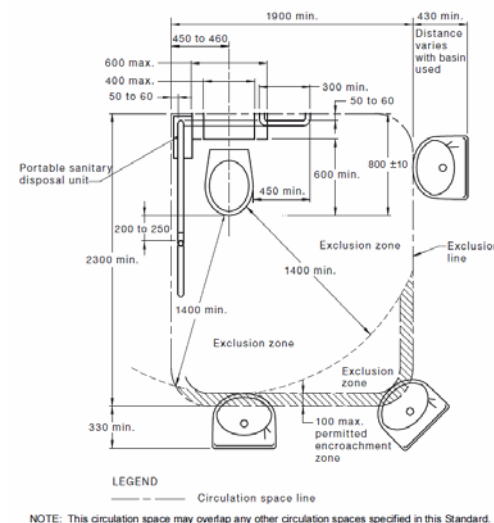


WC DOORS	STATUS
WC doors may be either hinged or sliding.	
Outward-opening doors shall have a mechanism that holds the door in a closed position without the use of a latch.	
Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle.	
In an emergency, the latch mechanism shall be openable from the outside.	
The force required to operate the door shall be not greater than 20N	
Door handles and hardware shall be lever or "D" handle type	

HANDBASINS	STATUS
The washbasin shall be outside the pan circulation	
Exposed hot water supply pipes shall be insulated or located so as not to present a hazard.	
The projection of the washbasin from the wall and the position of taps, bowl and drain outlet shall be determined in accordance with Figures 44(A) and 44(B);	
Water supply pipes and waste outlet pipes shall not encroach on the required clear space under the washbasin.	
Centreline distance from side wall – 425 mm	
Circulation space 1500 x 850 mm min	
Top of basin – 800-830 mm	



WC CIRCULATION	STATUS
Width of WC zone	1900 mm min
Length of WC zone	2300 mm min
Exclusion zone in front of WC pan	1400 mm min
Encroachment by handbasin	100 mm max



MIRROR	STATUS
In all sanitary facilities, the mirror shall be located either above or adjacent to the washbasin.	
Top of vanity – 800-830 mm	
Bottom of mirror – 900 mm max	
Top of mirror – 1850 mm min	

SHELVES	STATUS
As a vanity top at a height of 800 mm to 830 mm and a minimum width of 120 mm and depth of 300 mm to 400 mm without encroaching into any circulation space.	
A separate fixture within any circulation space at a height of 900 mm to 1000 mm with a width of 120 mm to 150 mm and length of 300 mm to 400 mm;	

SHELVES	STATUS
A separate fixture external to all circulation spaces at a height of 790 mm to 1000 mm with a minimum width of 120 mm and minimum length of 400 mm.	

SOAP DISPENSERS, TOWEL DISPENSERS	STATUS
soap dispensers, towel dispensers, hand dryers and similar fittings shall be operable by one hand	
be installed with the height of their operative component or outlet not less than 900 mm and not more than 1100 mm above the plane of the finished floor	
no closer than 500 mm from an internal corner	

CLOTHES HOOKS (INDIVIDUAL WC)	STATUS
A clothes-hook shall be installed 1200 mm to 1350 mm above the plane of the finished floor and not less than 500 mm out from any internal corner.	

SLIP RESISTANCE HB198	STATUS
Wet pendulum test – P3	
Oil-wet inclining platform test – R10	

ACCESSIBLE WC REQUIREMENTS TO BE SATISFIED

AS 1428.1:2009 ACCESSIBLE WC CHECKLIST

REQUIREMENTS FOR ACCESSIBLE WC AND SHOWER FACILITIES



SHOWERS	STATUS
Shower recesses and the circulation space for each shower recess from the finished floor to a height of not less than 900 mm shall be as shown in Figure 47. Grabrails, shower hose fittings; taps, soap holder, shelf (if provided) and the folding seat are the only fixtures permitted in these spaces.	
Shower recess fittings shall be provided as shown in Figures 47 and 48. Not less than two clothes-hanging devices, as specified in Clause 15.4.4, shall be fitted outside the shower recess. One such device shall be located within 400 ±10 mm and the other within 600 ±10 mm of the folding seat.	

FLOOR WASTES	STATUS
The floor of the shower recess and associated circulation space shall be self draining and without a step-down, raised step kerb or hob at the entry to the recess.	
The waste outlet for the shower shall be provided in accordance with Figure 47.	
The slope of the floor of the shower recess shall have a gradient between 1:60 and 1:80,	
The slope of floor of the remainder of the sanitary facility shall have a gradient between 1:80 and 1:100,	

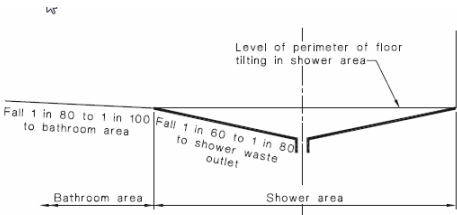


FIGURE 49 GRADES FOR BATHROOM AND SHOWER FLOORS

OPENING SHOWER SCREENS	STATUS
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The means of screening a shower recess shall be either by a curtain or a door system that maintains the required circulation space of 1600 mm × 2350 mm.	
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GRABRAILS	STATUS
Grabrails shall be fixed on the walls in the positions shown in Figures 47 and 48. Taps, soap holder and shower head support grabrail may encroach into the 600 mm clearance above the grabrail.	

SOAP HOLDER	STATUS
The soap holder shall be located within the zone shown in Figure 48.	

TAPS	STATUS
Taps, as specified in Clause 15.2.1, shall be located within the zone shown in Figure 48.	

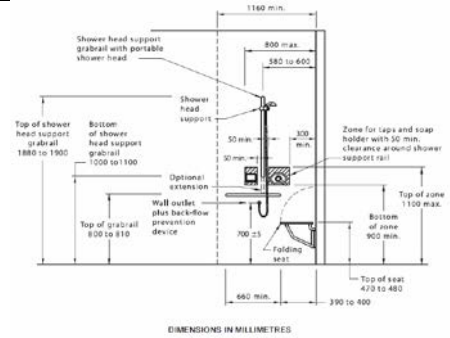
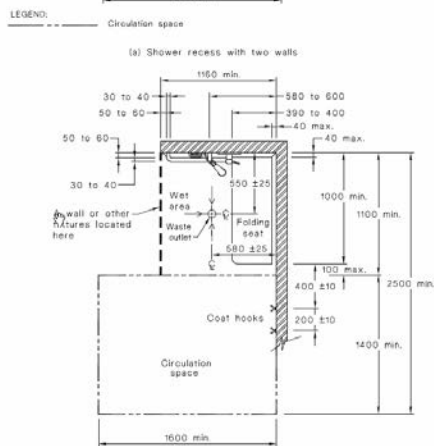
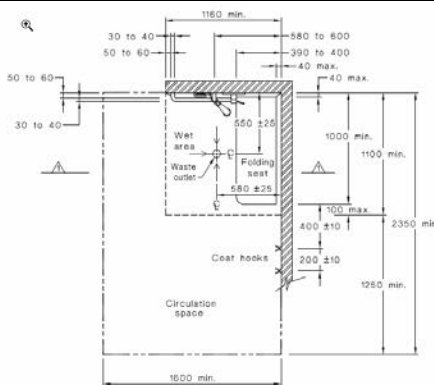


FIGURE 48 SHOWER RECESS FITTINGS—ELEVATION

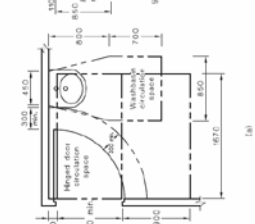
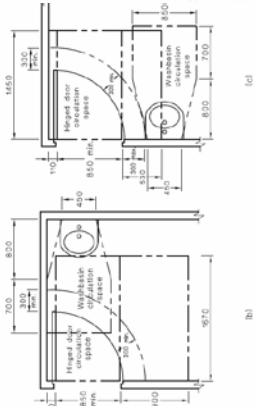
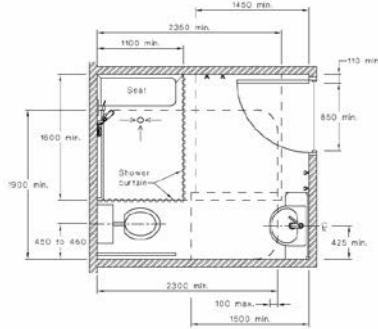
SHOWER HEAD	STATUS
A hand-held shower head shall be provided, which shall have a flexible hose of a minimum length of 1500 mm.	
An adjustable shower head holder shall be provided to support the shower head and shall—	
be installed on the shower head holder support grabrail	
allow the graspable portion of the shower head to be positioned at various angles and heights;	

SHOWER HEAD	STATUS
allow the graspable portion of the shower head to be located at heights between 1000 mm and 1800 mm above the plane of the finished floor; and	
allow access and adjustment from a seated position.	



CLOTHES HOOKS (SHOWERS)	STATUS
Two clothes hooks shall be installed within reach of the shower seat.	

CIRCULATION SPACES	STATUS
Circulation spaces, including door circulation spaces, may be overlapped.	

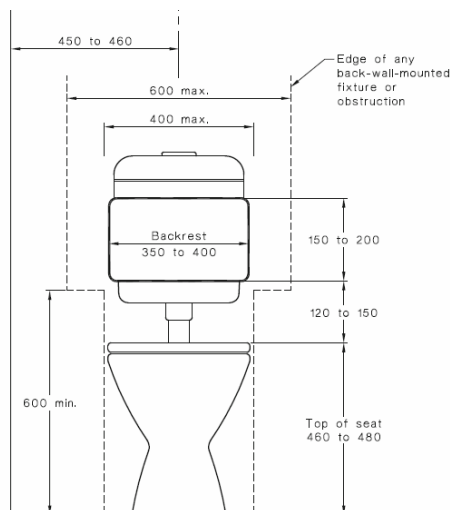


ACCESSIBLE WC REQUIREMENTS TO BE SATISFIED

AS 1428.1:2009 ACCESSIBLE WC CHECKLIST

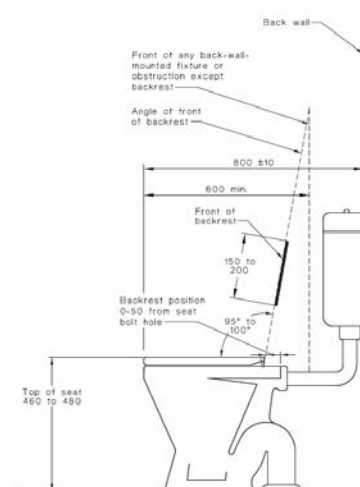
WATER TAPS	STATUS
Taps shall have lever handles, sensor plates, or other similar controls.	
Lever handles shall have not less than 50 mm clearance from an adjacent surface.	
Where separate taps are provided for hot and cold water, the hot water tap shall be placed to the left of the cold water tap for horizontal configurations, or above the cold water tap for vertical configurations.	
Where hot water is provided, the water shall be delivered through a mixing spout.	

WC PAN CLEARANCES	STATUS
Offset from side wall to CL of WC pan	450-460 mm
Distance from rear wall to front of WC Pan	800 ±10 mm
Top of seat height	460-480 mm AFFL



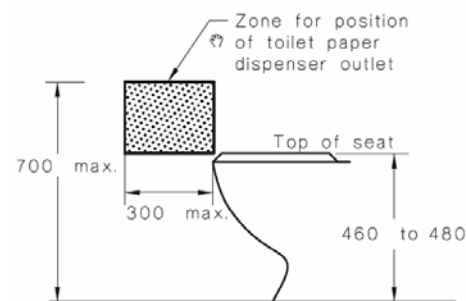
WC SEAT	STATUS
be of the full-round type	
be securely fixed in position when in use;	
have seat fixings that create lateral stability for the seat when in use;	
be load-rated to 150 kg;	
have a minimum luminance contrast of 30% with the background (e.g., pan, wall or floor against which it is viewed).	

BACKREST	STATUS
Shall be capable of withstanding a force in any direction of 1100 N;	
Width of backrest – 350-400 mm	
Height of backrest – 150-200 mm	
Bottom of back rest – 120-150 mm above top of seat	
Angle of incline 95-100 °	

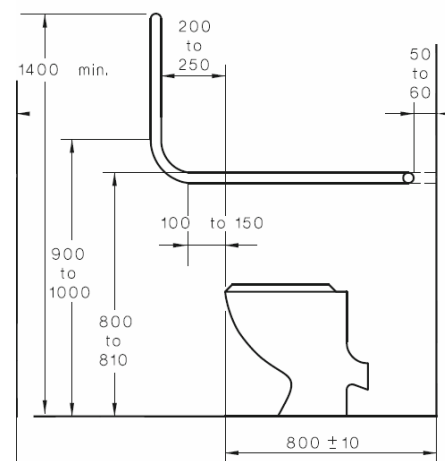


FLUSHING CONTROL	STATUS
Flushing controls shall be user activated, either hand operated or automatic..	
The flushing control shall be proud of the surface and shall activate the flush before the button becomes level with the surrounding surface.	

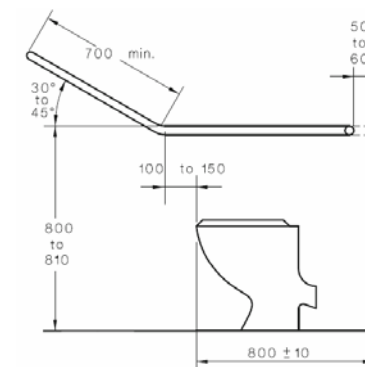
TOILET PAPER DISPENSER	STATUS
Distance in front of front of WC pan	300 mm max
Height above floor	700 mm max



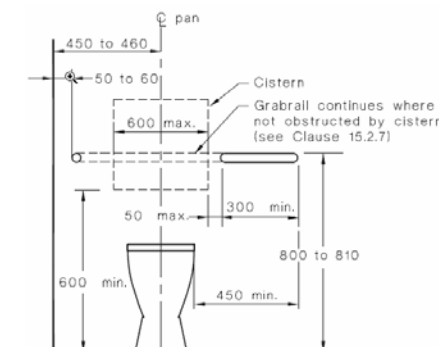
GRABRAILS 90 DEG	STATUS
Horizontal rail height	800 ±10 mm
Distance from front of WC pan to vertical rail	200-250 mm
Top of vertical rail	1400 mm AFFL min



GRABRAILS 45 DEG	STATUS
Horizontal rail height	800 ±10 mm
Distance from front of WC pan to inclined rail	100-150 mm
Length of inclined rail	700 mm min



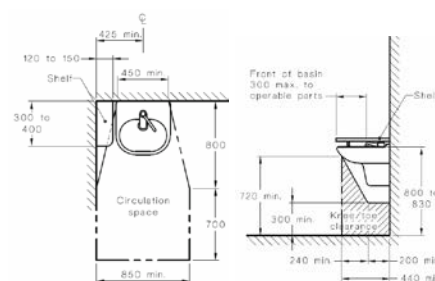
GRABRAILS REAR RAIL	STATUS
Horizontal rail height	800 ±10 mm
Distance from front of WC pan to vertical rail	200-250 mm
Top of vertical rail	1400 mm AFFL min



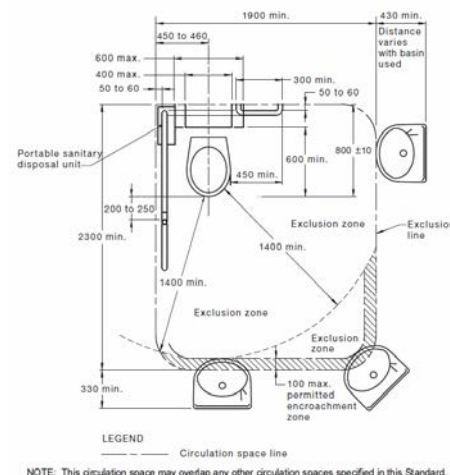
AS 1428.1:2009

ACCESSIBLE WC CHECKLIST

HANDBASINS	STATUS
The washbasin shall be outside the pan circulation	
Exposed hot water supply pipes shall be insulated or located so as not to present a hazard.	
The projection of the washbasin from the wall and the position of taps, bowl and drain outlet shall be determined in accordance with Figures 44(A) and 44(B);	
Water supply pipes and waste outlet pipes shall not encroach on the required clear space under the washbasin.	
Centreline distance from side wall – 425 mm	
Circulation space 1500 x 850 mm min	
Top of basin – 800-830 mm	



WC CIRCULATION		STATUS
Width of WC zone	1900 mm min	
Length of WC zone	2300 mm min	
Exclusion zone in front of WC pan	1400 mm min	
Encroachment by handbasin	100 mm max	



MIRROR	STATUS
In all sanitary facilities, the mirror shall be located either above or adjacent to the washbasin.	
Top of vanity – 800-830 mm	
Bottom of mirror – 900 mm max	
Top of mirror – 1850 mm min	

SHELVES	STATUS
As a vanity top at a height of 800 mm to 830 mm and a minimum width of 120 mm and depth of 300 mm to 400 mm without encroaching into any circulation space.	
A separate fixture within any circulation space at a height of 900 mm to 1000 mm with a width of 120 mm to 150 mm and length of 300 mm to 400 mm;	
A separate fixture external to all circulation spaces at a height of 790 mm to 1000 mm with a minimum width of 120 mm and minimum length of 400 mm.	

SOAP DISPENSERS, TOWEL DISPENSERS	STATUS
soap dispensers, towel dispensers, hand dryers and similar fittings shall be operable by one hand	
be installed with the height of their operative component or outlet not less than 900 mm and not more than 1100 mm above the plane of the finished floor	
no closer than 500 mm from an internal corner	

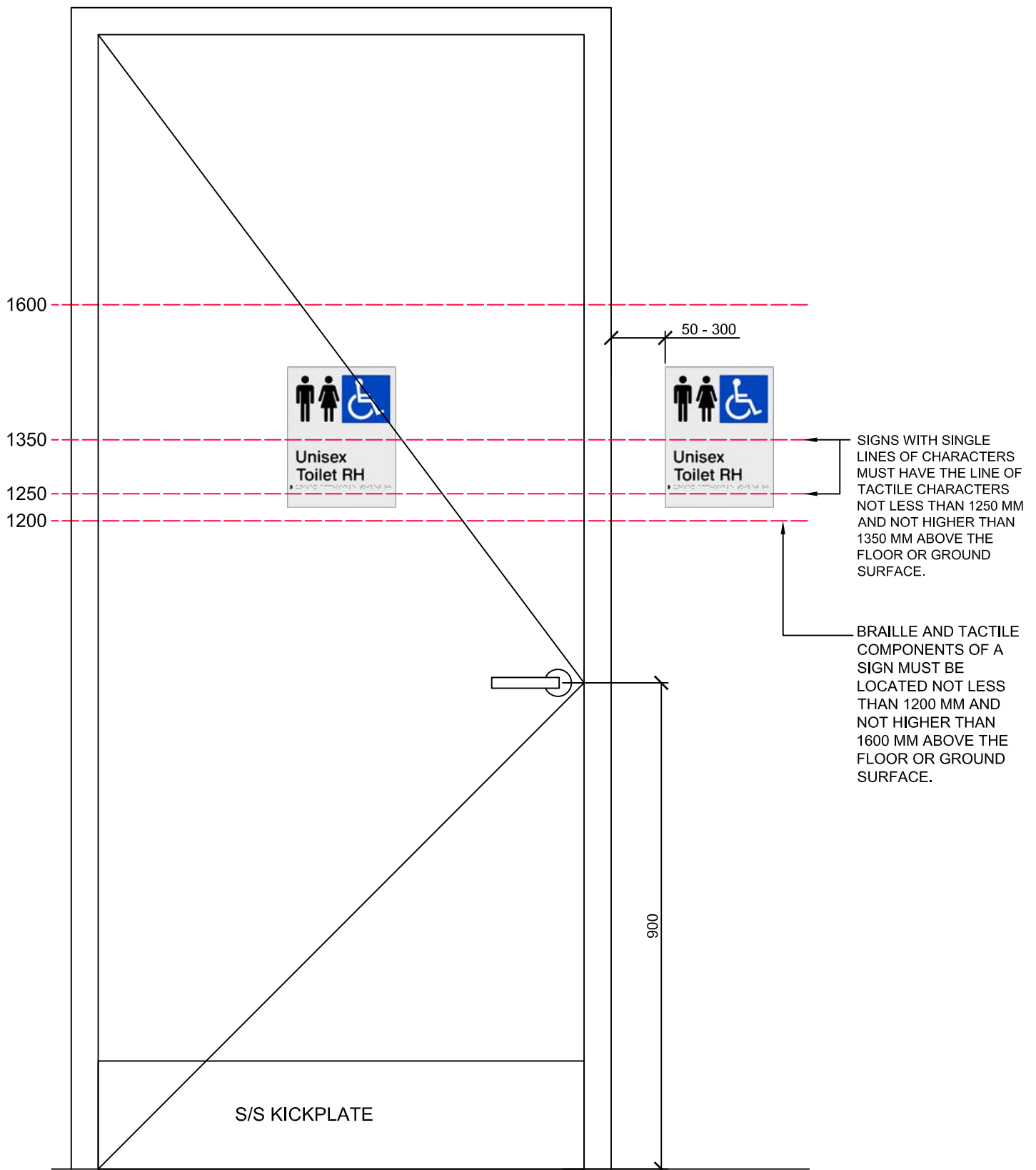
CLOTHES HOOKS	STATUS
A clothes-hook shall be installed 1200 mm to 1350 mm above the plane of the finished floor and not less than 500 mm out from any internal corner.	

SLIP RESISTANCE HB198	STATUS
Wet pendulum test – P3	
Oil-wet inclining platform test – R10	

BRAILLE TACTILE SIGNS NCC D3.6	STATUS
signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use	
Braille and tactile components of a sign must be located not less than 1200 mm and not higher than 1600 mm above the floor or ground surface.	

BRAILLE TACTILE SIGNS NCC D3.6	STATUS
Signs with single lines of characters must have the line of tactile characters not less than 1250 mm and not higher than 1350 mm above the floor or ground surface.	
Signs identifying rooms containing features or facilities listed in D3.6 must be located— (i) on the wall on the latch side of the door with the leading edge of the sign located between 50 mm and 300 mm from the architrave; and (ii) where (i) is not possible, the sign may be placed on the door itself.	
where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.	
The background, negative space, fill of a sign or border with a minimum width of 5 mm must have a luminance contrast with the surface on which it is mounted of not less than 30%.	
Tactile characters, icons and symbols must have a minimum luminance contrast of 30% to the surface on which the characters are mounted	
Luminance contrasts must be met under the lighting conditions in which the sign is to be located.	
Braille and tactile signs must be illuminated to ensure luminance contrast requirements are met at all times during which the sign is required to be read.	

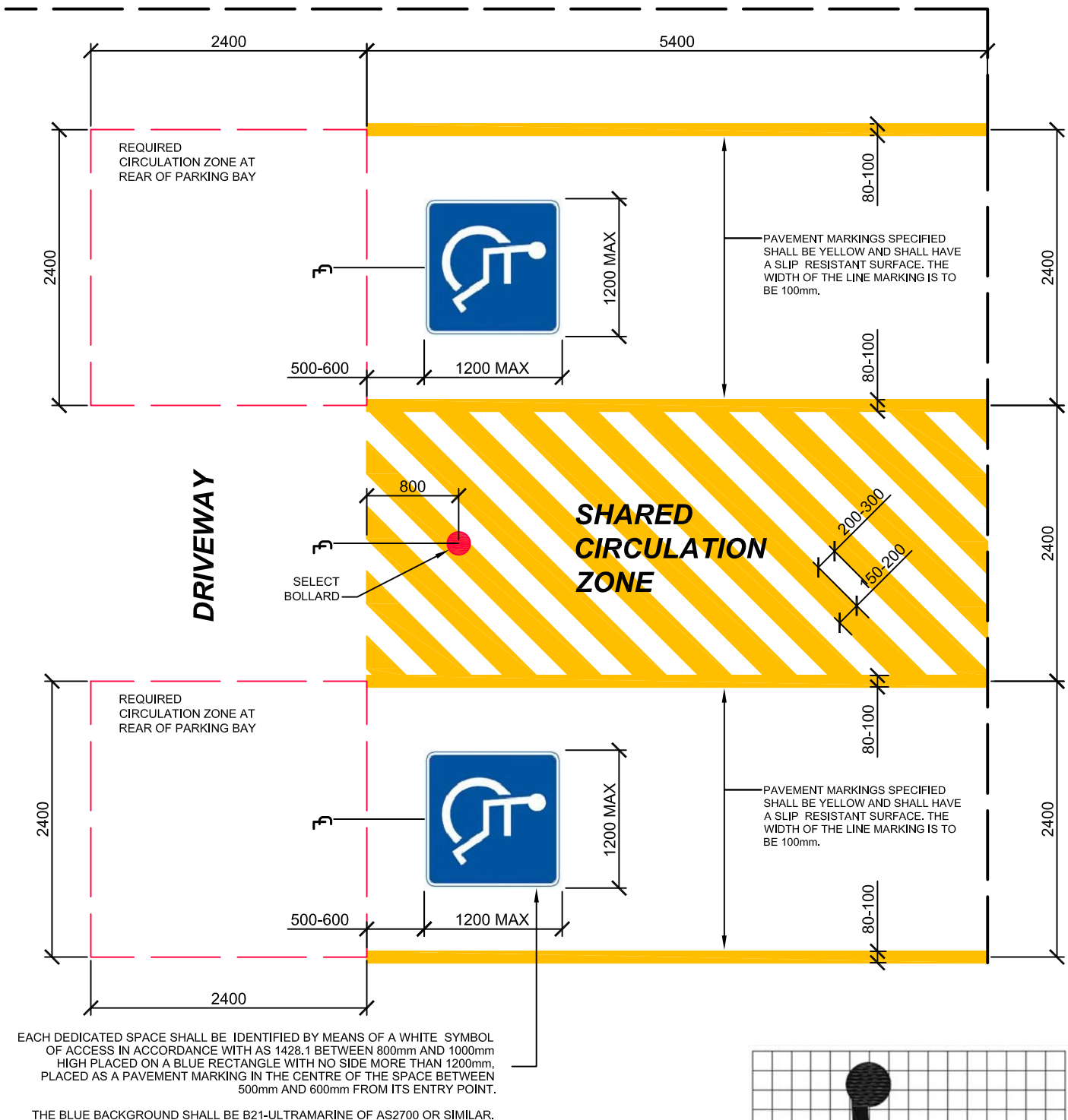




1 ACCESSIBLE DOOR SIGN

Scale: 1:10@A4

THE LOCATION OF THE SIGN IS PREFERRED TO BE LOCATED ON THE LATCH SIDE OF THE DOOR. WHERE THIS IS **NOT POSSIBLE** THE SIGN MAY BE LOCATED ON THE DOOR.



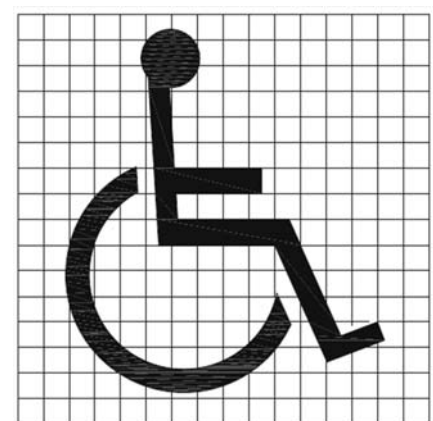
1 ACCESSIBLE PARKING SPACES

PLAN VIEW Scale: 1:50@A4



ACCESSIBLE PARKING SIGN TO BE POLE FIXED OR MOUNTED ON WALL. BOTTOM OF SIGN TO BE MOUNTED 1200mm AFFL. THE BLUE BACKGROUND SHALL BE B21-ULTRAMARINE OF AS2700 OR SIMILAR.

SIGNS MAY BE EQUAL TO RMS STANDARD SIGNAGE.



NOTE: The grid is for positional purposes only.

THE ABOVE DETAIL INDICATES THE PROPORTIONAL SETOUT OF THE INTERNATIONAL SYMBOL OF ACCESS AS DESIGNATED IN AS1428.1

2 ACCESSIBLE PARKING SIGN

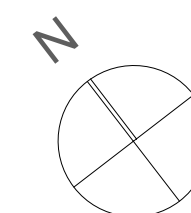
Scale: NTS

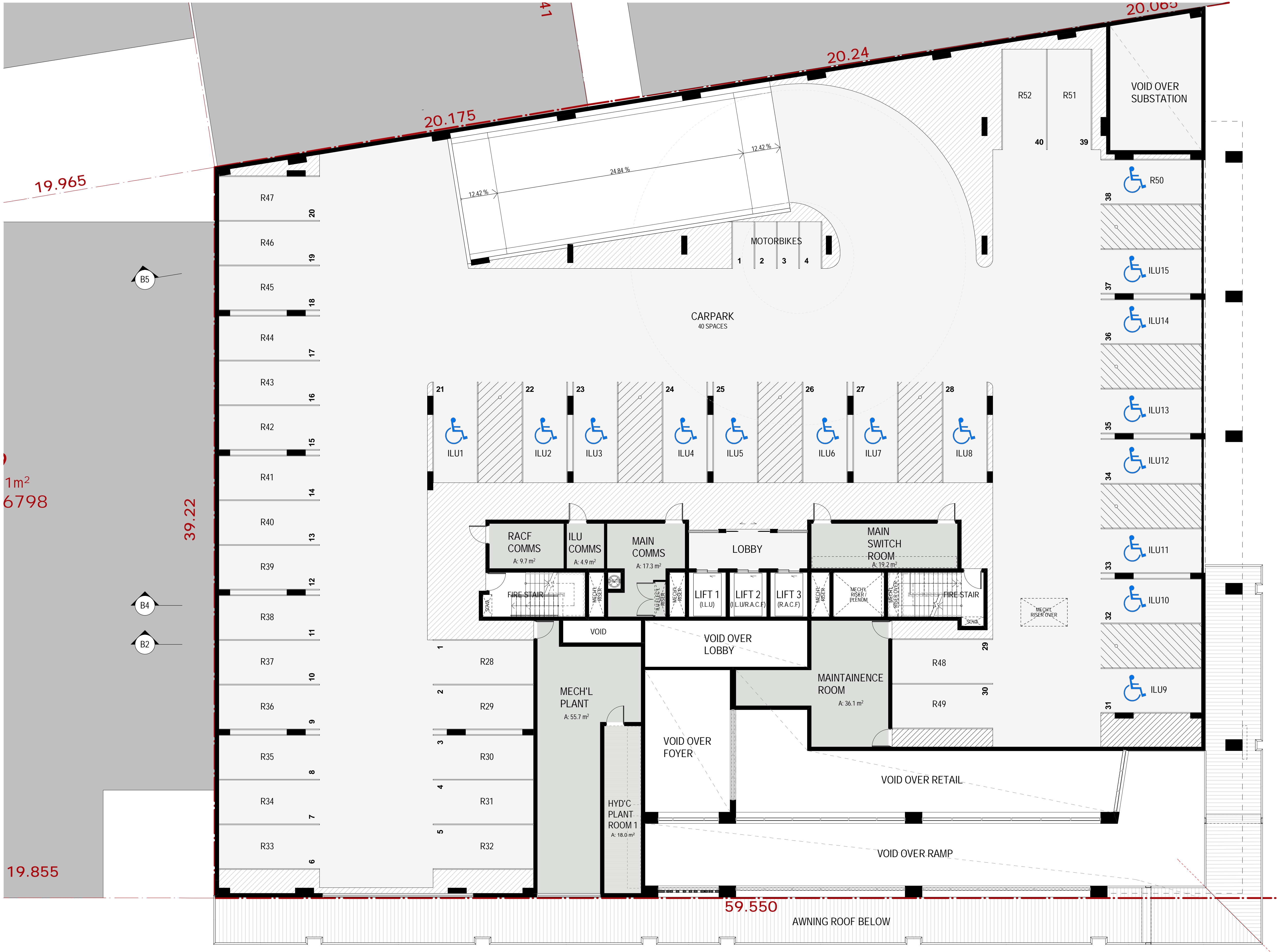
3 ACCESSIBLE SYMBOL SETOUT

Scale: NTS

	<p>iAccess Consultants 2/20 BALFOUR ROAD ROSE BAY, NSW 2020 (P) 0408 627 908 (E) r.seidman@iaccessconsultants.com (W) www.iaccessconsultants.com</p>		<p>TITLE: ACCESSIBLE PARKING - PERPENDICULAR LINE MARKING SETOUT</p> <p>DWG. No. ###</p>	<p>TECHNICAL SHEET</p> <p>DATE: OCT 2014 SCALE: AS SHOWN STAGE: - DRAWN: RAS TYPE: - REVISION: [-]</p>	<p>A20</p>
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CLIENT REVIEW ISSUE

SUMMARY OF REVISIONS:-
- MECHANICAL RISER REVISED.

CLIENT REVIEW ISSUE



SUMMARY OF REVISIONS:-
- MECHANICAL RISER REVISED.

CLIENT REVIEW ISSUE



SUMMARY OF REVISIONS:-
- MECHANICAL RISER REVISED.
- CURTAIN WALL FACADES ADDED.

CLIENT REVIEW ISSUE



SUMMARY OF REVISIONS:-
- MECHANICAL RISER REVISED.
- CURTAIN WALL FACADES ADDED.
- LOBBY ALCOVE MECH'L PLANT RELOCATED TO BALCONIES.

CLIENT REVIEW ISSUE





SUMMARY OF REVISIONS:-
- MECHANICAL RISER REVISED.
- CURTAIN WALL FACADES ADDED.
- CORNER PATIOS / TERRACE ADDED.

CLIENT REVIEW ISSUE